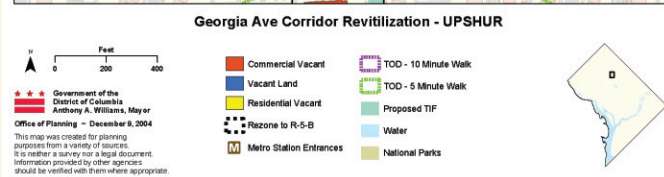
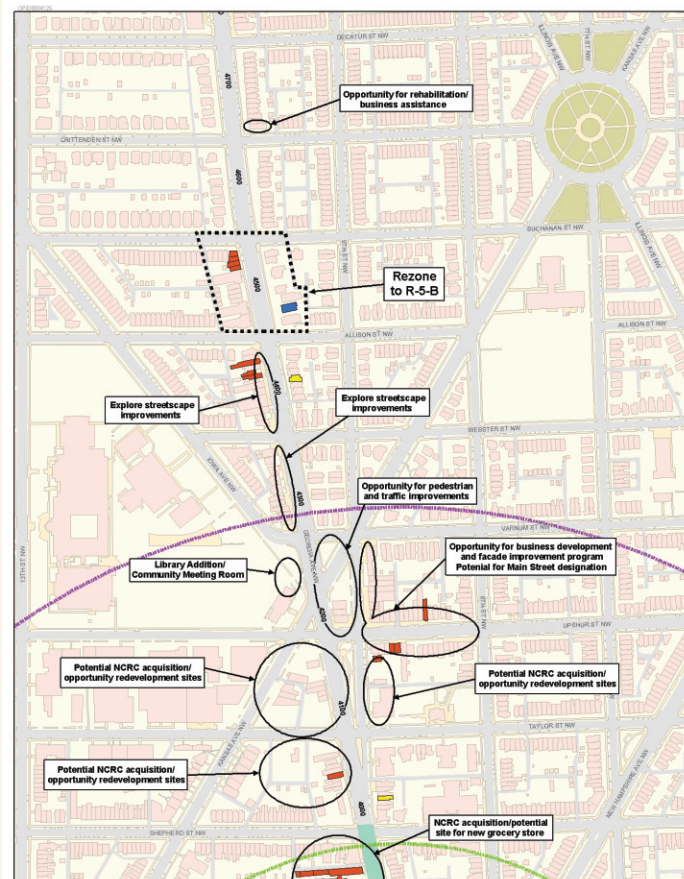


VII. Implementation

# ACTION PLAN: UPSHUR



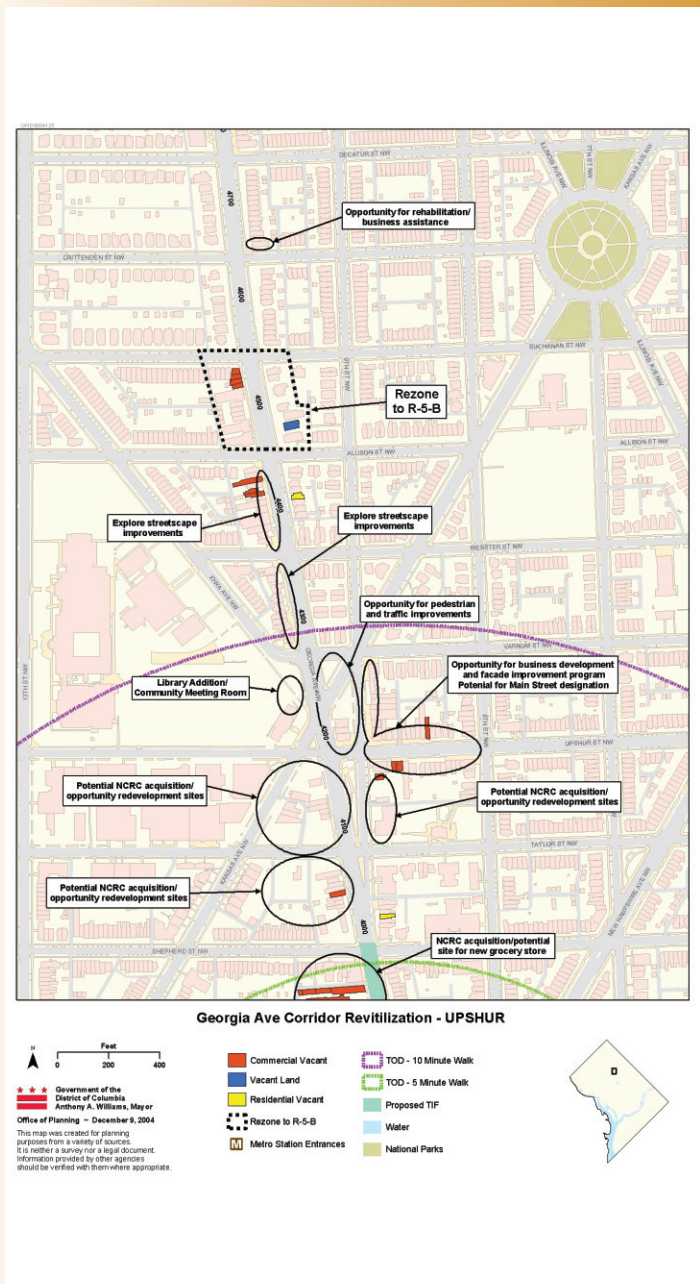
Key Plan

GEORGIA AVENUE REVITALIZATION STRATEGY - ACTION PLAN							
UPSHUR from Decatur Street to Shepherd Street							
Priority	Site Location		Issue	Current Zoning	Proposed Actions	Partners	Projected Completion
4700 Block							
3	Decatur Street to Crittenden Street	East	Corner business in need of rehab.	R-4	Explore business viability, development and renovation options with owner.	Property Owner; DMPED reSTORE DC	2-5 years
n/a		West	Stable residential.	R-1-B	None	n/a	n/a
4600 Block							
n/a	Crittenden Street to Buchanan Street	East	Stable residential.	R-4	None	n/a	n/a
n/a		West	Stable residential.	R-1-B	None	n/a	n/a
4500 Block							
1	Buchanan Street to Allison Street	East	Existing apartment building non-conforming in R-4 zone. Opportunity for moderate residential development.	R-4	Rezone to R-5-B.	OP; OZ	1-2 years
1		West	Existing apartment building non-conforming in R-4 zone. Opportunity for moderate residential development.	R-4	Rezone to R-5-B.	OP; OZ	1-2 years
4400 Block							
n/a	Allison Street to Webster Street	East	Stable residential.	R-4	None	n/a	n/a
n/a		West	None	C- 2- A	None	n/a	n/a
2		West	Opportunity for streetscape improvements.	C- 2- A	Explore streetscape improvements.	DDOT	1-2 years
4200 Block							
1	Varnum Street to Upshur Street	East	Retail is concentrated in an east-west orientation on Upshur Street and a north-south orientation on 9th Street. Opportunity to revitalize the neighborhood business district.	C-2-A	On Upshur and 9th Streets, implement an aggressive business development and facade improvement program. Explore Main Street designation.	DHCD; DMPED reSTORE DC	1-2 years

Abbreviations	DHCD	Department of Housing and Community Development	DPR	Department of Parks and Recreation
	DDOT	Department of Transportation	NCRC	National Capital Revitalization Corporation
	DCPL	DC Public Library	DMPED	Deputy Mayor for Planning and Economic Development

## VII. Implementation

# ACTION PLAN: UPSHUR



Key Plan

GEORGIA AVENUE REVITALIZATION STRATEGY - ACTION PLAN							
UPSHUR from Decatur Street to Shepherd Street (continued)							
Priority	Site Location		Issue	Current Zoning	Proposed Actions	Partners	Projected Completion
4200 Block							
2	Varnum Street to Upshur Street	Center	Georgia Avenue/Kansas Avenue Crossroads. Poor pedestrian conditions, especially for school children. Poor traffic patterns.	C-2-A	Explore traffic circulation changes and implement pedestrian safety measures.	DDOT	2-5 years
2		Center	Existing concentration of open space & institutional uses, including pocket parks, library, schools, post office. Opportunity to enhance public realm.	C-2-A / R-4 (library & schools in R-4)	Implement public realm improvement plan.	DDOT; DPR	2-5 years
3		West	Potential opportunity to improve/expand Petworth Library Branch.	C-2-A / R-4 (library in R-4)	Explore library improvements/expansion	DCPL	5+ years
4100 Block							
2	Upshur Street to Taylor Street	East	Vacant lots & under-utilized properties. Opportunity to concentrate development to mid block.	C-2-A	Explore site assemblage and acquisition.	NCRC	2-5 years
n/a		East	None	C-2-A	None	n/a	n/a
2		West	Major redevelopment opportunity.	C-2-A	Site acquisition	NCRC	2-5 years
n/a		West	None	C-2-A	None	n/a	n/a
4000 Block							
n/a	Taylor Street to Shepherd Street	East	None	C-2-A	None	n/a	n/a
3		West	Existing mixed uses. Under-utilized properties. Opportunity for moderate residential development.	C-2-A	Explore site acquisition	NCRC	5+ years
n/a		West	None	C-2-A	None	n/a	n/a
<div>Abbreviations</div> <div><div>DHCD</div>Department of Housing and Community Development</div> <div><div>DDOT</div>Department of Transportation</div> <div><div>DCPL</div>DC Public Library</div> <div><div>DPR</div>Department of Parks and Recreation</div> <div><div>NCRC</div>National Capital Revitalization Corporation</div> <div><div>DMPED</div>Deputy Mayor for Planning and Economic Development</div>							